

PARRAMATTA COUNCIL

ATTENTION : KATE LAFFERTY

DA / 241 / 2013

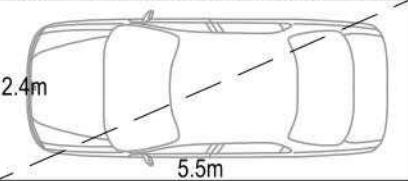
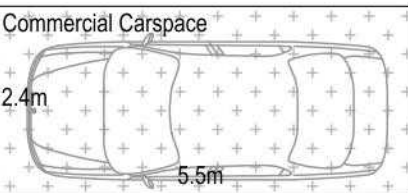
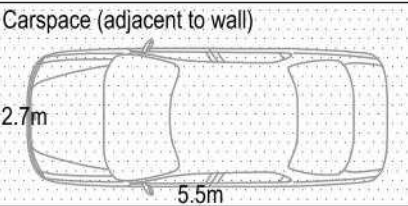
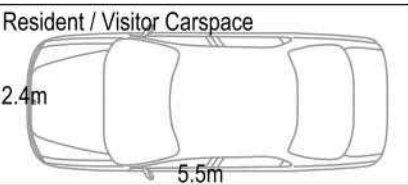
WIGRAM & HASSAU STREETS
PARRAMATTA



By 3.35 (RECEIVED)
RACHET BROWN



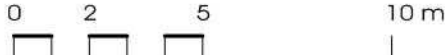
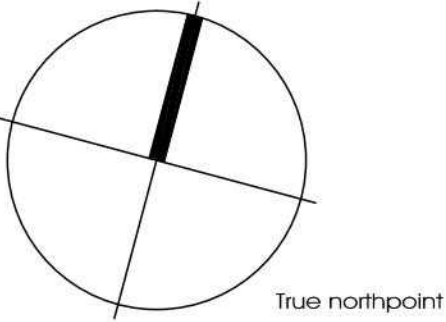
Carparking Legend



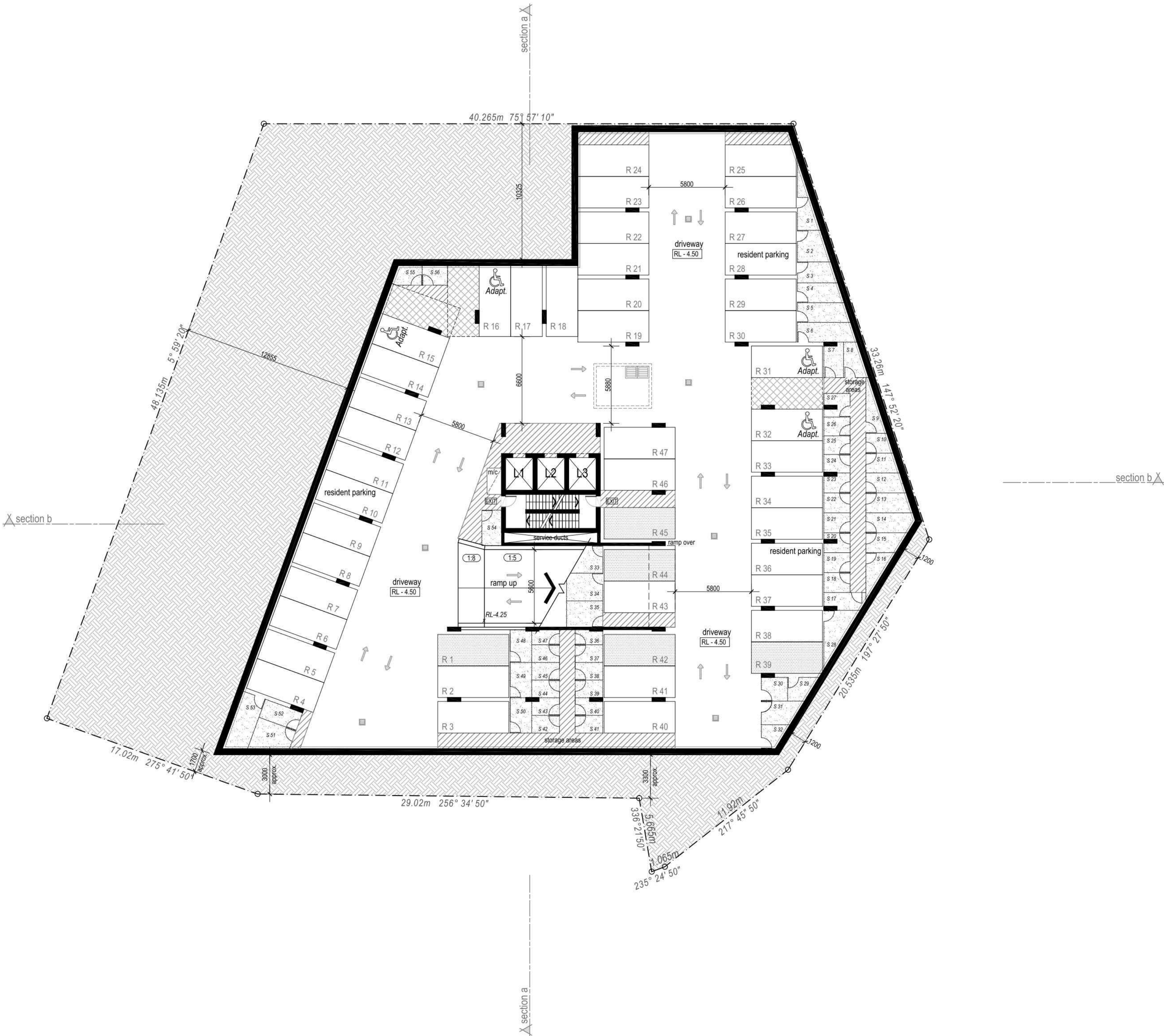
Note:
All disabled visitors carparking in accordance with AS2890.6 and adaptable residents parking in accordance with AS4299

Note:
All parking spaces are a minimum of 2.4m in width by 5.5m in length. Spaces increase to 2.7m in width where adjacent to a wall or an obstruction. Spaces increase to 3.0m where adjacent to walls on both sides. (in accordance with AS2890.1)

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.



Notes:
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Basement Level 4

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with remote air key system access.
All underground parking areas to be painted white.

Waste Management + Driveway Details:
Refer to dwg no. DA24

Landscape Details:
Refer to Landscape Drawings

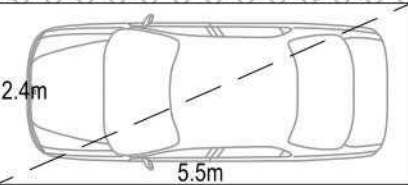
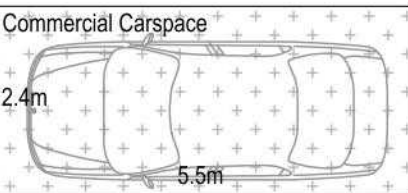
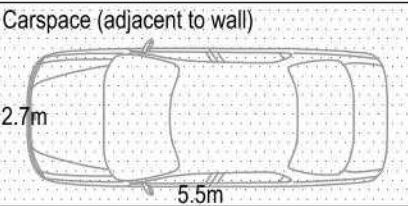
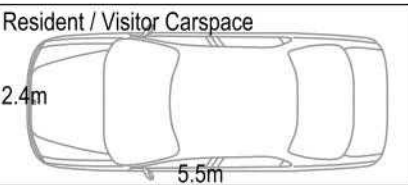
Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend		
RLXXXX	Structural Floor Level	
x RLXXXX	Finished Reduced Level	
(1.8)	Ramp Up Gradient	

DEVELOPMENT APPLICATION

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Basement Level 4		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA02	Issue A

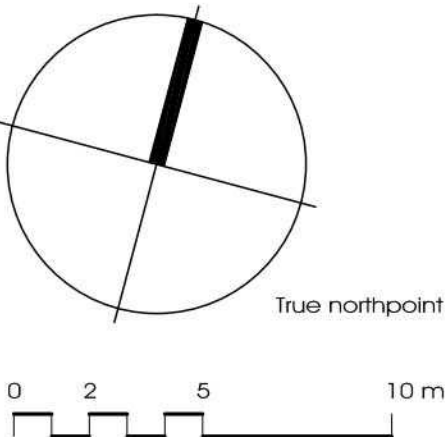
Carparking Legend



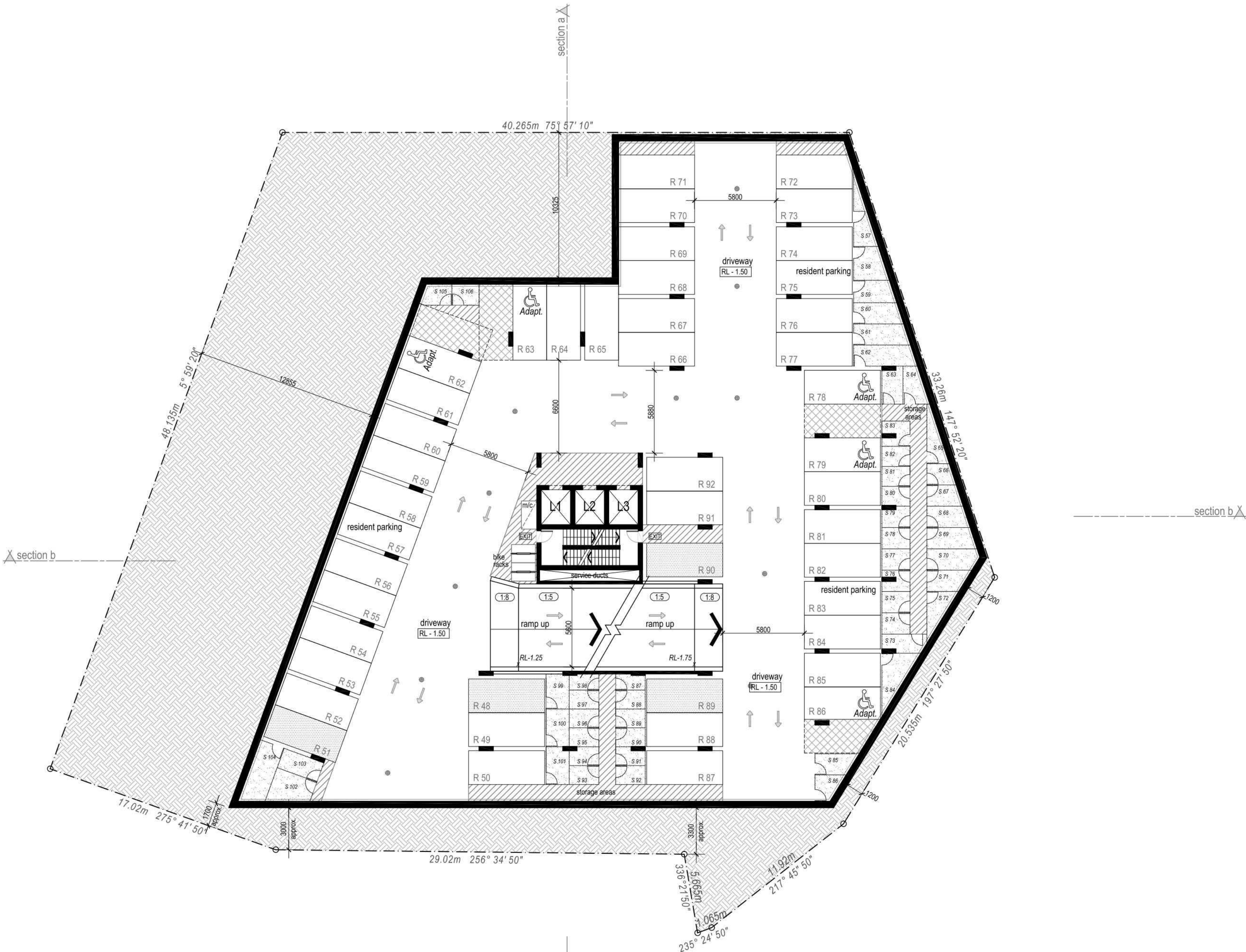
Note:
All disabled visitors carparking in accordance with AS2890.6 and adaptable residents parking in accordance with AS4299

Note:
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Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.



Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with remote air key system access.
All underground parking areas to be painted white.

Waste Management + Driveway Details:
Refer to dwg no. DA24

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

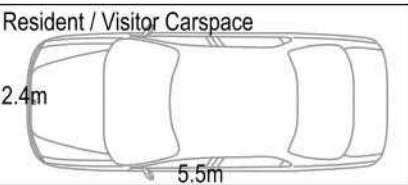
Legend		
RLXXXX	Structural Floor Level	
x RLXXXX	Finished Reduced Level	
(1.8)	Ramp Up Gradient	

DEVELOPMENT APPLICATION

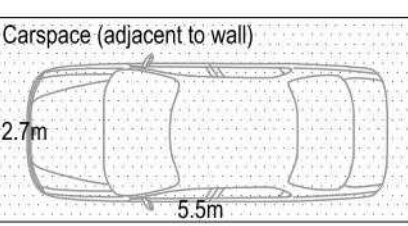
Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Basement Level 3		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA03	Issue A

Carparking Legend

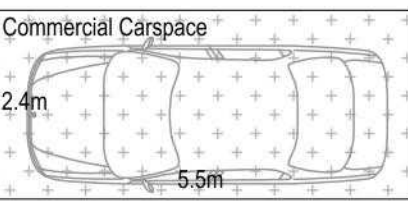
Resident / Visitor Carspace



Carspace (adjacent to wall)



Commercial Carspace



Adaptable / Disabled Visitor Carspace



Note:

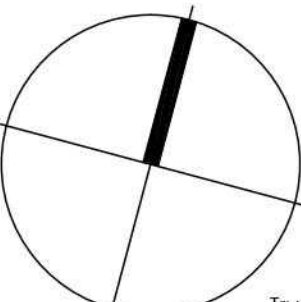
All disabled visitors carparking in accordance with AS2890.6 and adaptable residents parking in accordance with AS4299

Note:

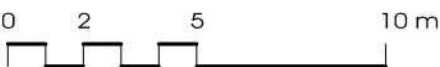
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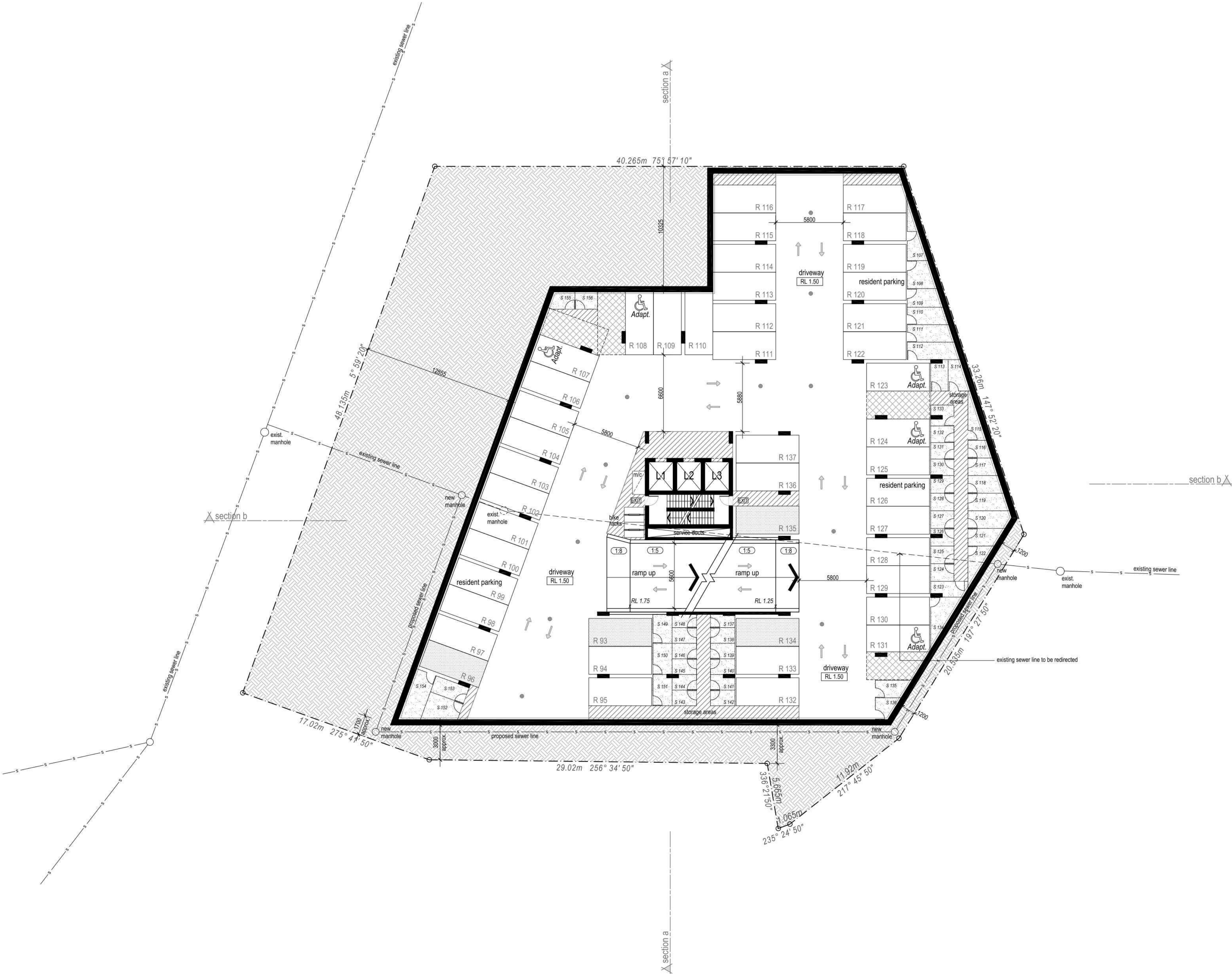
True northpoint



0 2 5 10 m

Notes:

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Basement Level 2

Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with remote air key system access.
All underground parking areas to be painted white.

Waste Management + Driveway Details:
Refer to dwg no. DA24

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend		
RLXXXX	Structural Floor Level	
x RLXXXX	Finished Reduced Level	
(1.8)	Ramp Up Gradient	

DEVELOPMENT APPLICATION

A Development Application Issue	02.04.13
P2 Prelim. Issue to Consultants	26.03.13
P1 Prelim. Issue to Client	18.03.13
Issue description	Date



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Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Basement Level 2		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA04	Issue A

Carparking Legend

Resident / Visitor Carspace

Carspace (adjacent to wall)

Commercial Carspace

Adaptable / Disabled Visitor Carspace

Note:

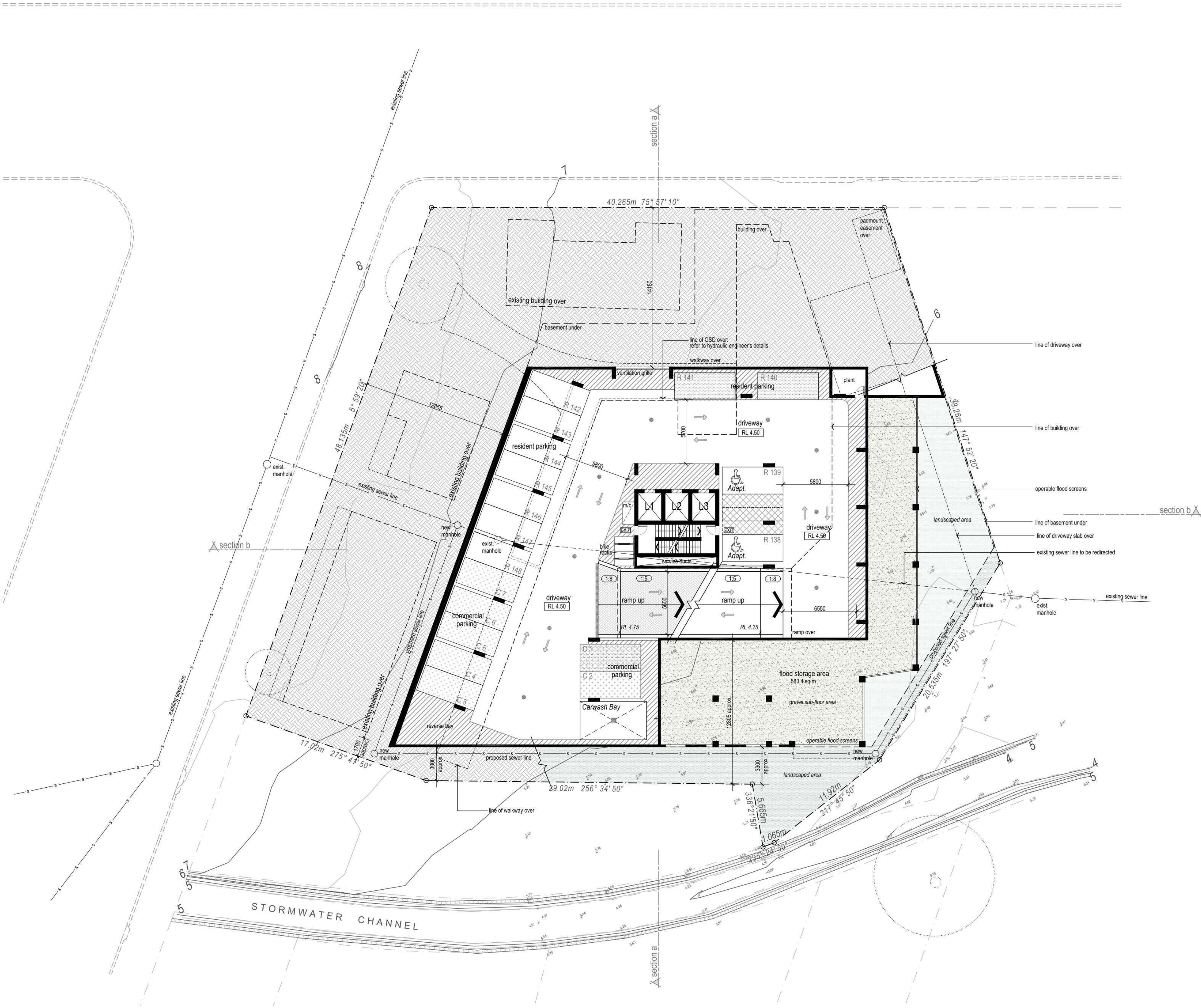
All disabled visitors carparking in accordance with AS2890.6 and adaptable residents parking in accordance with AS4299

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Note:

The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.



Legend
External Works Materials

Stenciled Concrete

Non-Slip Tiles

Common Non-Slip Tiles

Pavers for Public Domain
(pavement works as per PCC details)

Timber Decking

Turfed Area

Ornamental Gravel

Deep Soil Landscaping

Planterbox Garden
(over basement / building)

Water Feature

Decorative Pavers
(various sizes)

Selected Garden Edging

Privacy Screen Atop Wall

Existing Trees to be Retained

Existing Trees to be Removed

Notes:

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

C	OSD and Driveway amended	27.09.13
B	Shadow Diagrams amended	01.08.13
A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13
Issue description		Date

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Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Basement Level 1		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA05	Issue C

DEVELOPMENT APPLICATION

Note:

The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with with remote air key system access.
All underground parking areas to be painted white.

Waste Management + Driveway Details:

Refer to dwg no. DA24

Landscape Details:

Refer to Landscape Drawings

Stormwater Details + Site Levels:

Refer to Hydraulic Eng. Drawings

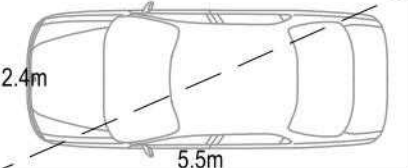
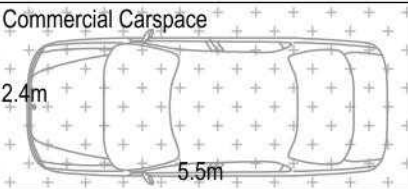
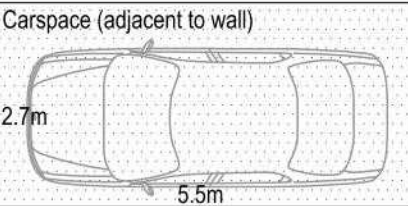
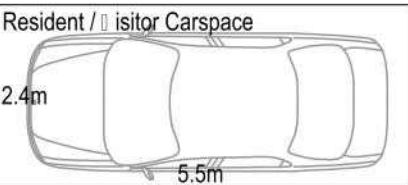
Legend

Structural Floor Level

Finished Reduced Level

Ramp Up Gradient

Carparking Legend



Note:
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Note:
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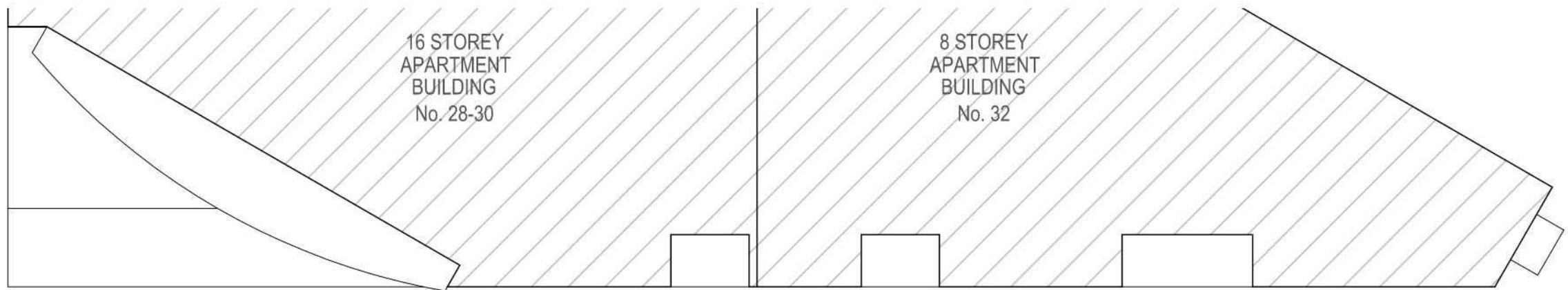
Commercial Unit Nett Areas:

Commercial Unit 1 75.0 sq m
Commercial Unit 2 78.3 sq m
Commercial Unit 3 63.8 sq m
Commercial Unit 4 63.8 sq m
Commercial Unit 5 61.9 sq m
Commercial Unit 6 87.9 sq m
Commercial Unit 7 82.8 sq m

Total Leasable Area 513.5 sq m

Note:
Additions and alterations to all existing buildings are subject to: enticement and future detail

round Floor Level

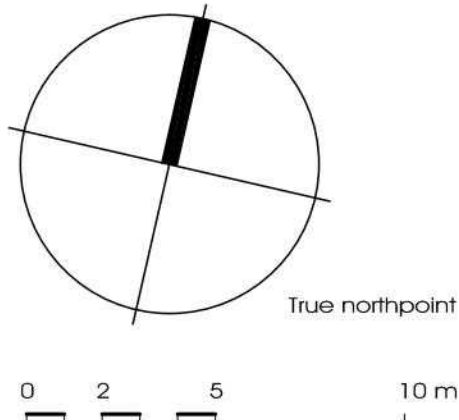


HASSALL STREET



Legend
External Works Materials

- Stencilled Concrete
- Non-Slip Tiles
- Common Non-Slip Tiles
- Pavers for Public Domain (pavement works as per PCC details)
- Timber Decking
- Turfed Area
- Ornamental Gravel
- Deep Soil Landscaping
- Planterbox Garden (over basement / building)
- Water Feature
- Decorative Pavers (various sizes)
- Selected Garden Edging
- Privacy Screen Atop Wall
- Existing Trees to be Retained
- Existing Trees to be Removed



Notes:
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C	OSD and Driveway amended	27.09.13
B	Shadow Diagrams amended	01.08.13
A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13

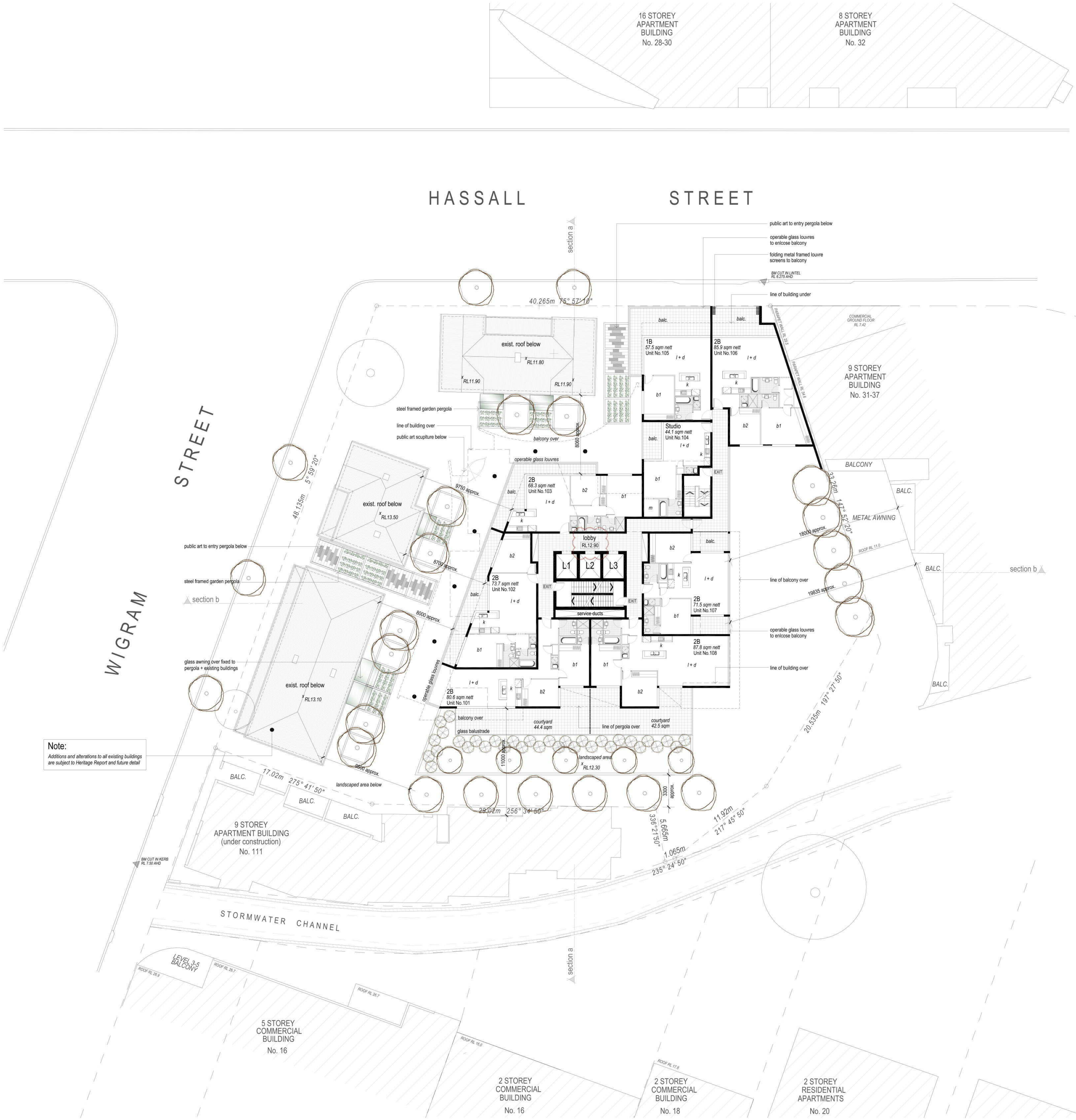
Issue description	Date
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Granville, 2142
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Fax 9897 1006

Public Domain Plan: Refer to dwg no. DA30
Fence + Mail + Driveway Details: Refer to dwg no. DA24
Waste Management Plan: Refer to dwg no. DA24
Landscape Details: Refer to Landscape Drawings
Stormwater Details + Site Levels: Refer to Hydraulic Eng. Drawings
Note: The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements. All security shutters to be controlled by residents with with remote air key system access.
Legend Structural Floor Level Finished Reduced Level Ramp Up Gradient

DEVELOPMENT APPLICATION

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title ▮ round Floor Level		
Drawn pdp	Scale 1:200 ▮ A1	Checked
Job No. 2026	Drawing No. DA06	Issue C



Legend
External Works Materials

- Stencilled Concrete
- Non-Slip Tiles
- Common Non-Slip Tiles
- Pavers for Public Domain (pavement works as per PCG details)
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- Turfed Area
- Ornamental Gravel
- Deep Soil Landscaping
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- Water Feature
- Decorative Pavers (various sizes)
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- Privacy Screen Atop Wall
- Existing Trees to be Retained
- Existing Trees to be Removed

True northpoint

0 2 5 10 m

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D	Building Height reduced to JRP comments	07.11.14
C	OSD and Driveway amended	27.08.13
B	Shadow Diagrams amended	01.08.13
A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13
Issue description		Date

architex

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M : 0418 402 919

Typical Unit + Post-Adaptable Layouts:
Refer to dwg no. DA25+DA26

Fence + Mail + Driveway Details:
Refer to dwg no. DA24

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend

- Structural Floor Level
- Finished Reduced Level

DEVELOPMENT APPLICATION

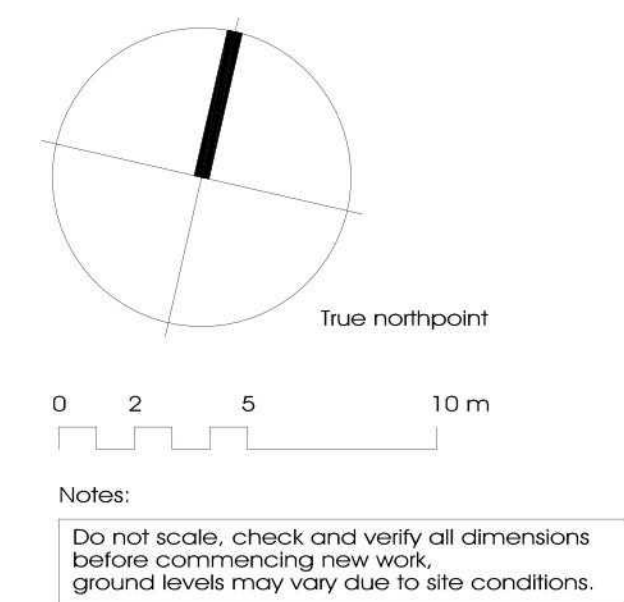
Project
Development Application
Proposed Mixed Use Development

Project address
113-117A Wigram Street +
23-29 Hassall Street, Parramatta

Client
Hassall Street Project Pty. Ltd.

Title
Level 1

Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA07	Issue D



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Parramatta NSW 2150

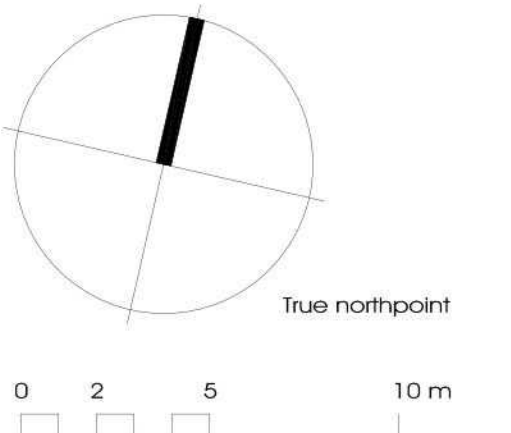
email: architex@architex.com.au
www: architex.com.au

T : 9633 5888
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Legend

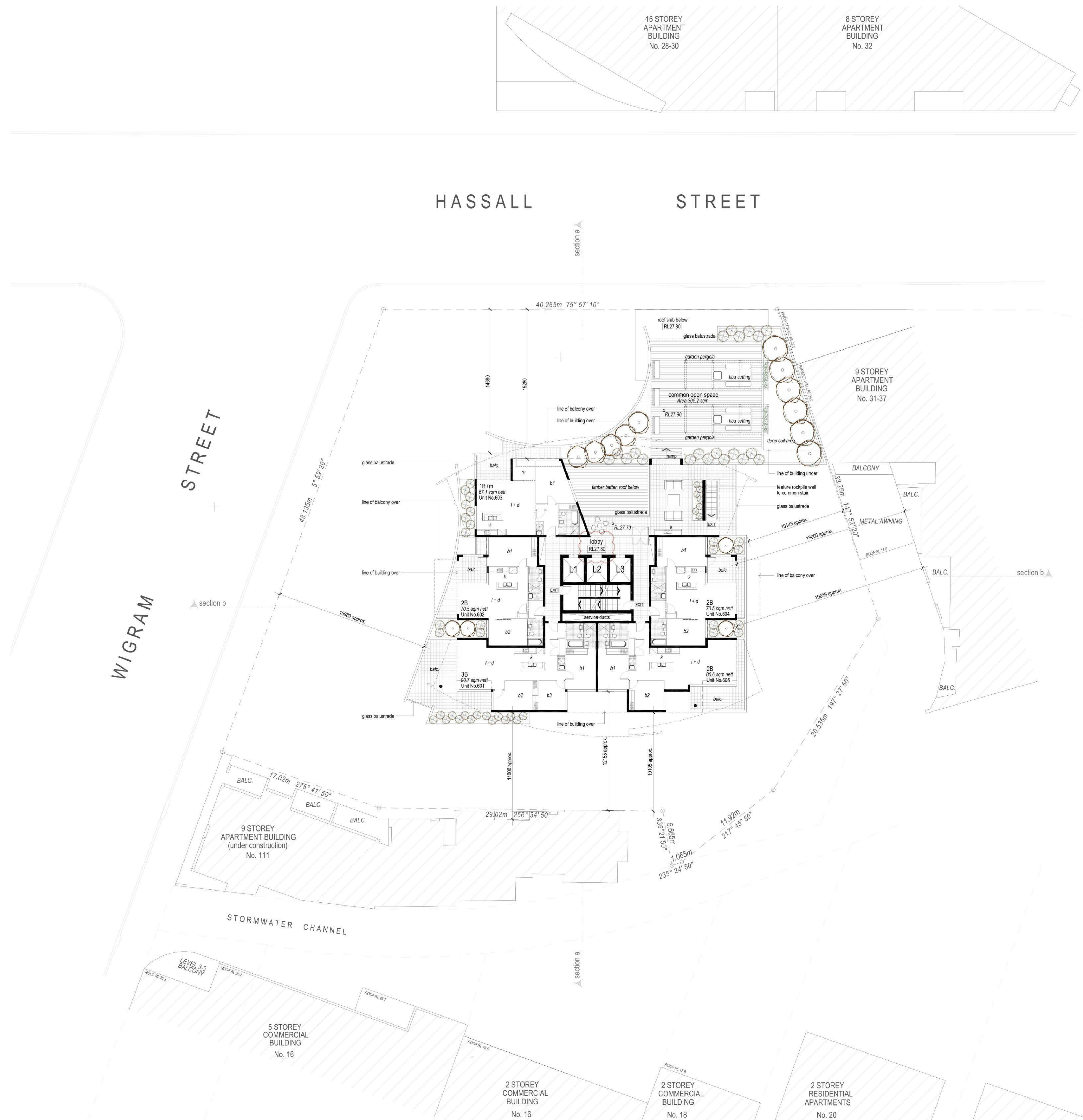
	Structural Floor Level
	Finished Reduced Level

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Level 2		
Drawn pdf	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA08	Issue D



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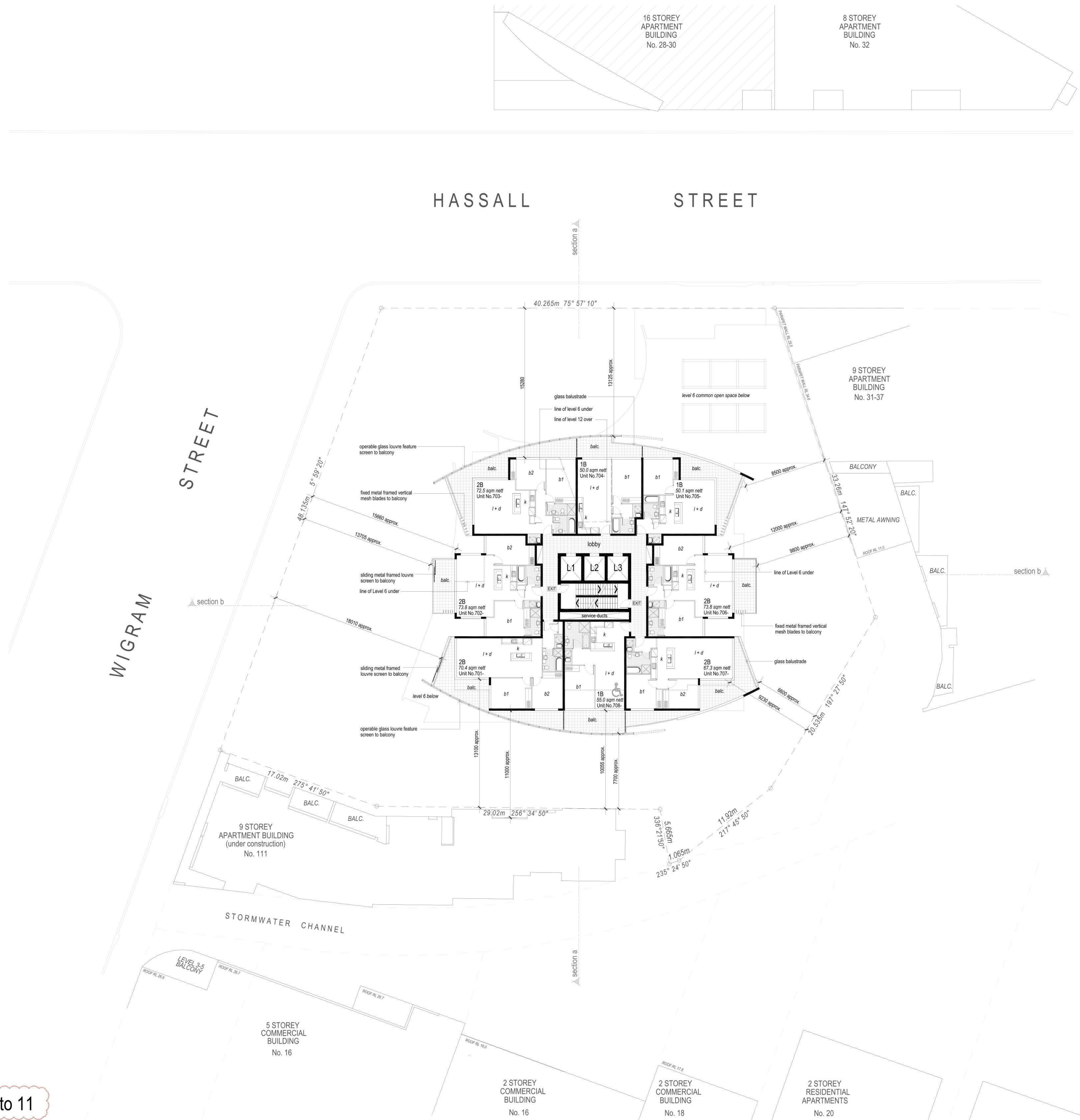
D	Building Height reduced to JRPP comments	07.11.14
C	OSD and Driveway amended	27.09.13
B	Shadow Diagrams amended	01.08.13
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P1	Prelim. Issue to Client	18.03.13
Issue description		Date



Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Level 6		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA11	Issue D

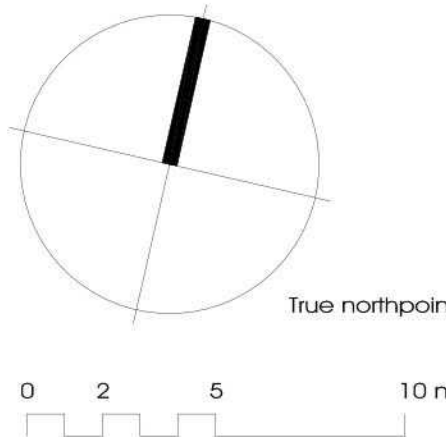
DEVELOPMENT APPLICATION

Level 6



Legend
External Works Materials

- Stencilled Concrete
- Non-Slip Tiles
- Common Non-Slip Tiles
- Pavers for Public Domain (pavement works as per PCC details)
- Timber Decking
- Turfed Area
- Ornamental Gravel
- Deep Soil Landscaping
- Planterbox Garden (over basement / building)
- Water Feature
- Decorative Pavers (various sizes)
- Selected Garden Edging
- Privacy Screen Atop Wall
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P1	Prelim. Issue to Client	18.03.13
Issue description		Date

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DEVELOPMENT APPLICATION

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Typical Levels 7 to 11		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA12	Issue D

Typical Levels 7 to 11

Typical Unit + Post-Adaptable Layouts:
Refer to dwg no. DA25+DA26

Landscape Details:
Refer to Landscape Drawings

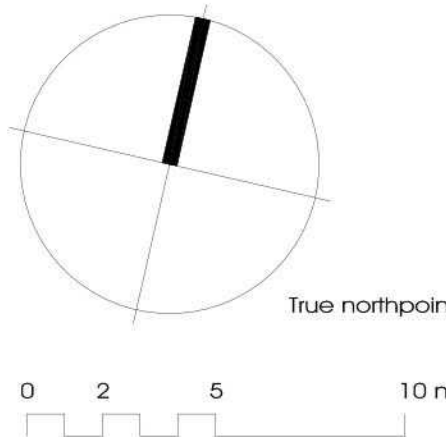
Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend	
RLXXXX	Structural Floor Level
xRLXXXX	Finished Reduced Level



Legend
External Works Materials

- Stencilled Concrete
- Non-Slip Tiles
- Common Non-Slip Tiles
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P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13
Issue description		Date

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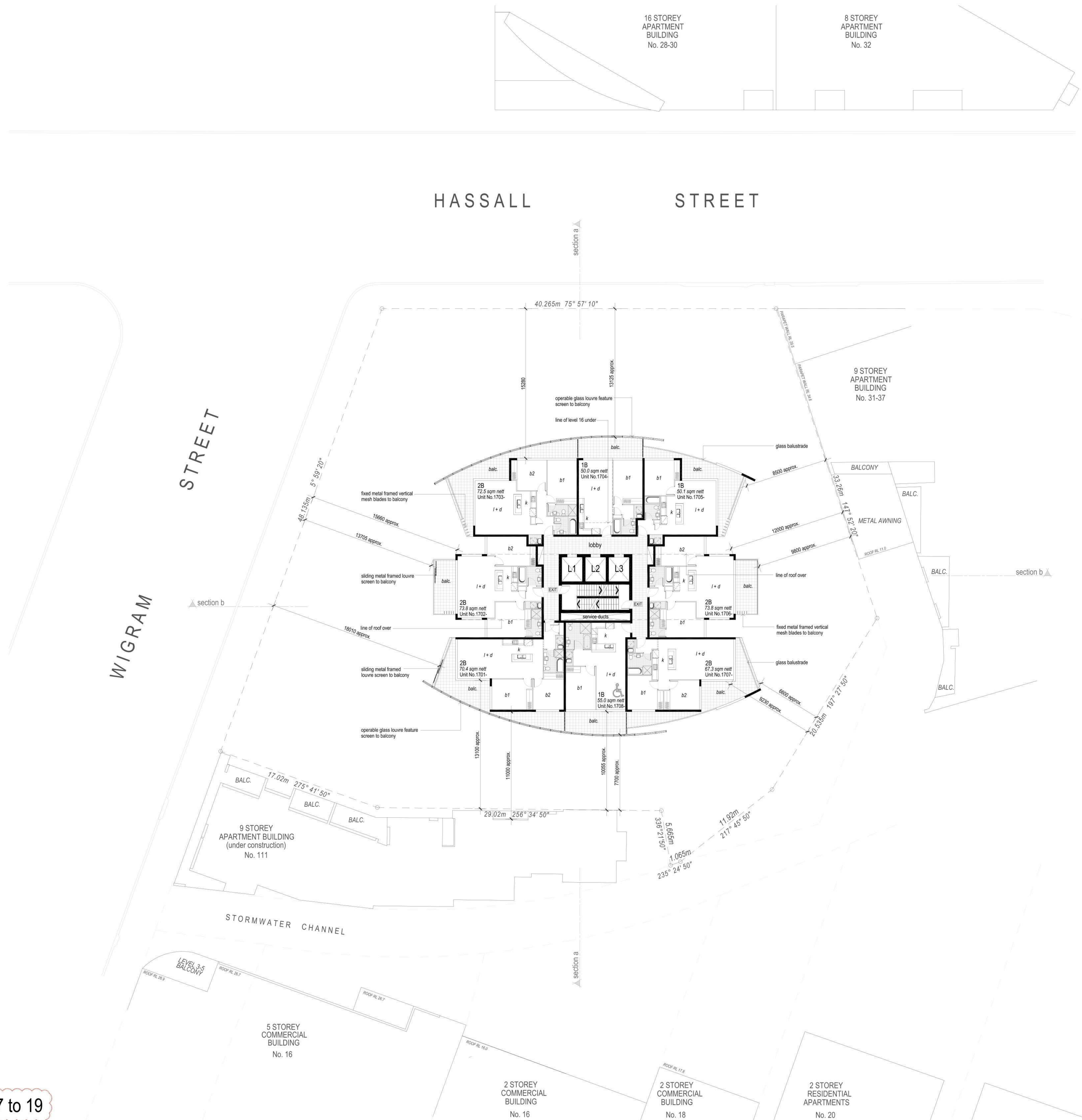
DEVELOPMENT APPLICATION

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Typical Levels 12 to 16		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA13	Issue D

Typical Levels 12 to 16

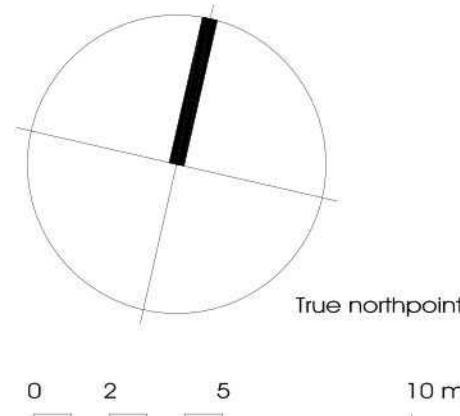
- Typical Unit + Post-Adaptable Layouts:
Refer to dwg no. DA25+DA26
- Landscape Details:
Refer to Landscape Drawings
- Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend	
RLXXXX	Structural Floor Level
xRLXXXX	Finished Reduced Level



Legend
External Works Materials

- Stencilled Concrete
- Non-Slip Tiles
- Common Non-Slip Tiles
- Pavers for Public Domain (pavement works as per PCC details)
- Timber Decking
- Turfed Area
- Ornamental Gravel
- Deep Soil Landscaping
- Planterbox Garden (over basement / building)
- Water Feature
- Decorative Pavers (various sizes)
- Selected Garden Edging
- Privacy Screen Atop Wall
- Existing Trees to be Retained
- Existing Trees to be Removed



Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

D	Building Height reduced to JRP comments	07.11.14
C	OSD and Driveway amended	27.08.13
B	Shadow Diagrams amended	01.08.13
A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13

Issue description	Date
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Project
Development Application
Proposed Mixed Use Development

Project address
113-117A Wigram Street +
23-29 Hassall Street, Parramatta

Client
Hassall Street Project Pty. Ltd.

Title
Typical Levels 17 to 19

Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA14	Issue D

DEVELOPMENT APPLICATION

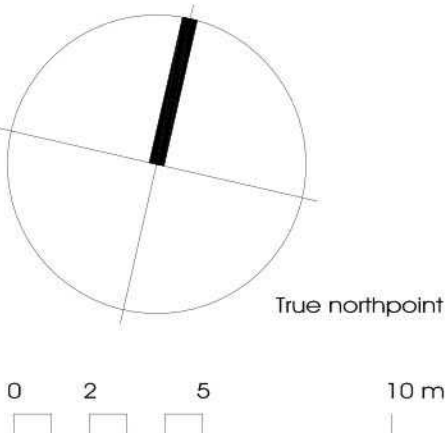
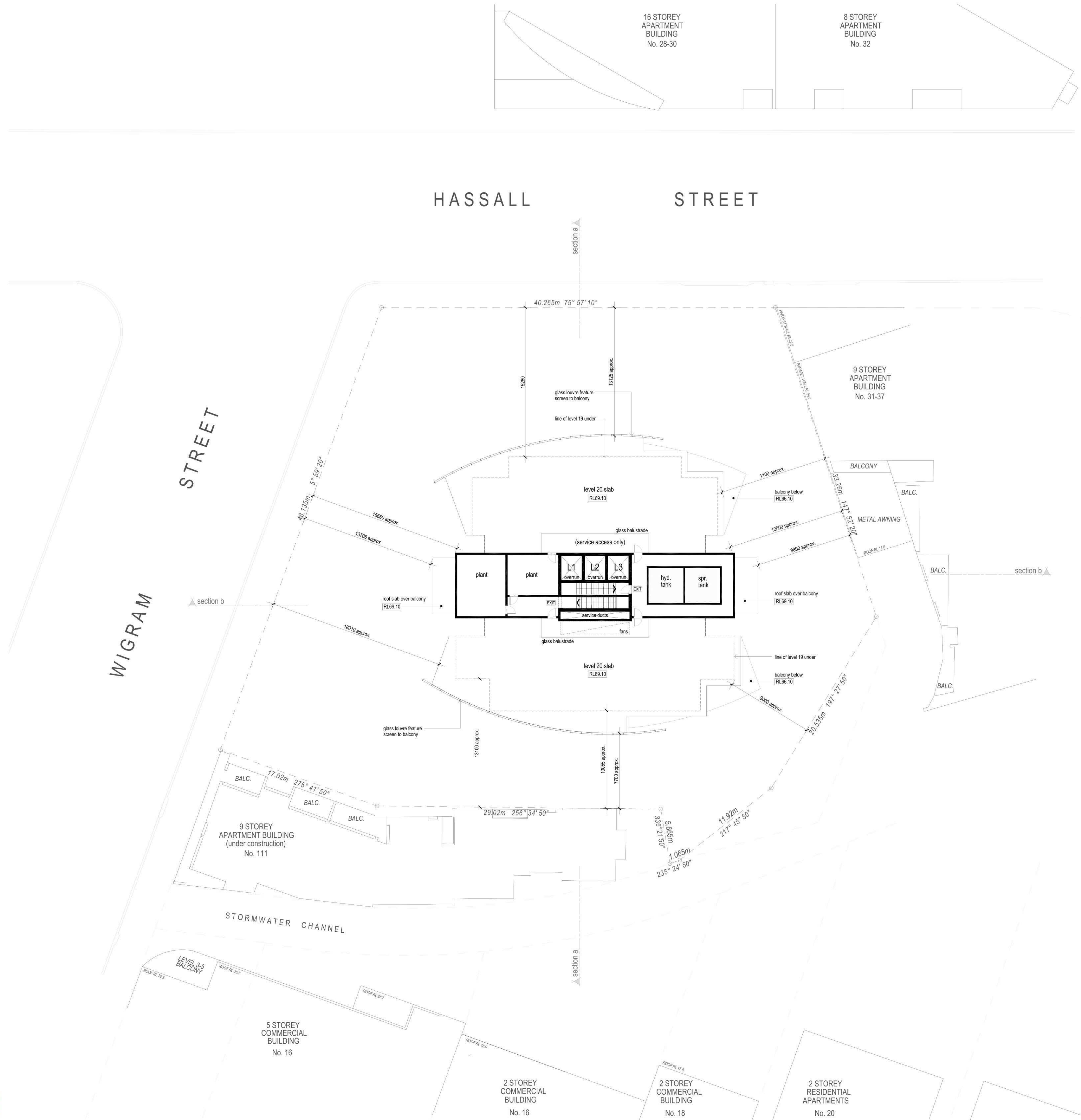
Typical Unit + Post-Adaptable Layouts:
Refer to dwg no. DA25+DA26

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend	
RLXXXX	Structural Floor Level
x RLXXXX	Finished Reduced Level

Typical Levels 17 to 19



Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

D	Building Height reduced to JRP comments	07.11.14
C	OSD and Driveway amended	27.08.13
B	Shadow Diagrams amended	01.08.13
A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
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Issue description		Date

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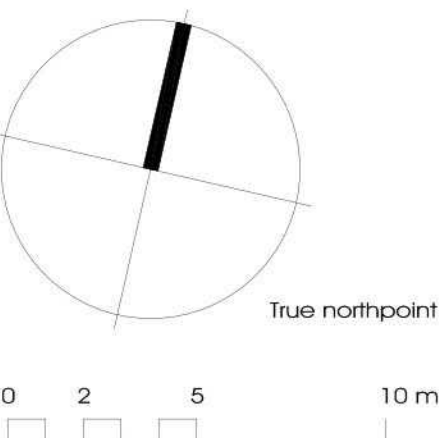
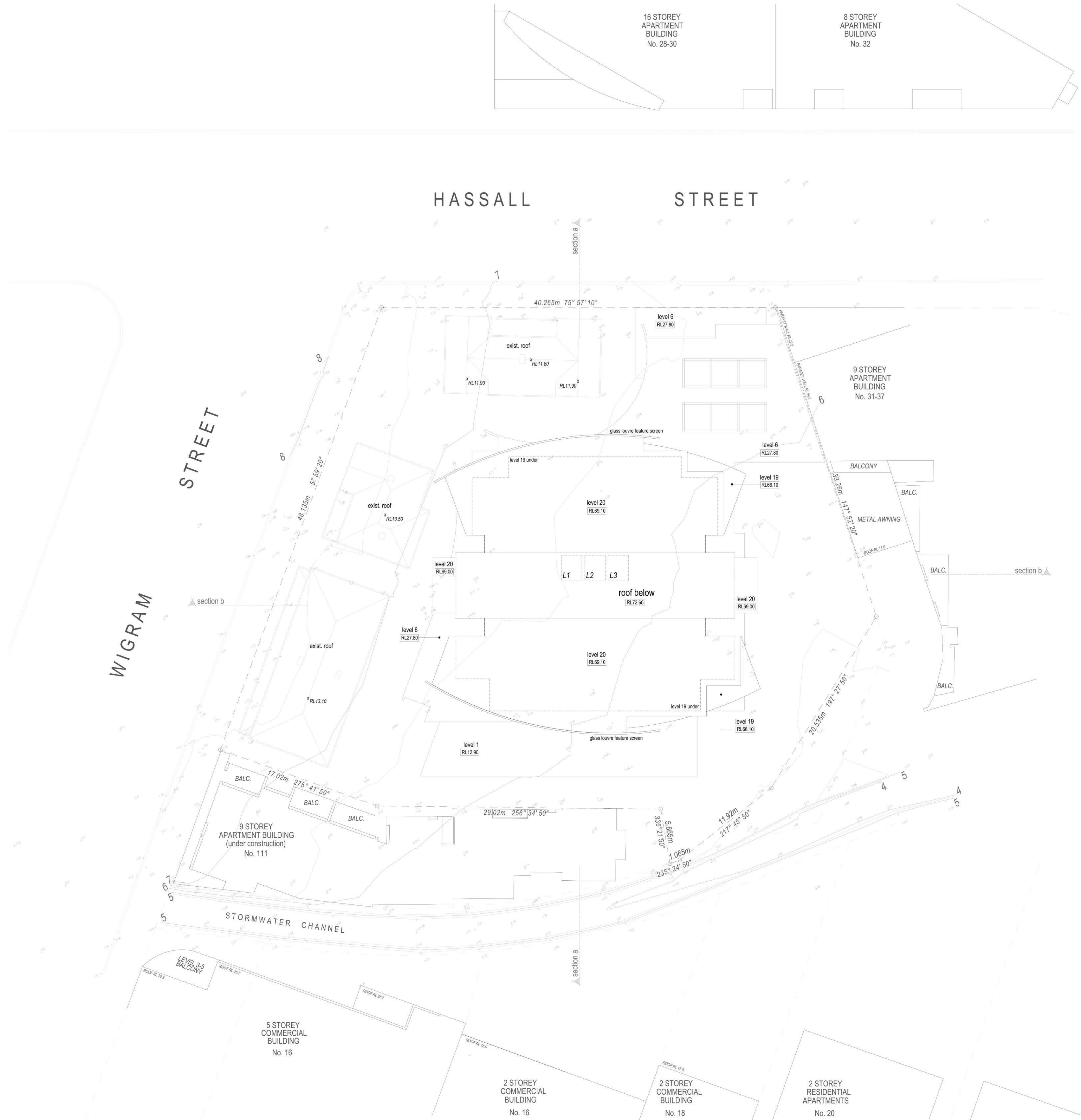
Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Roof Level 20		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA15	Issue D

DEVELOPMENT APPLICATION

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend	
RLXXXX	Structural Floor Level
xRLXXXX	Finished Reduced Level

Roof Level 20



Notes:
Do not scale, check and verify all dimensions
before commencing new work.
ground levels may vary due to site conditions.

D	Building Height reduced to JRP comments	07.11.14
C	OSD and Driveway amended	27.08.13
B	Shadow Diagrams amended	01.08.13
A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13
Issue description		Date



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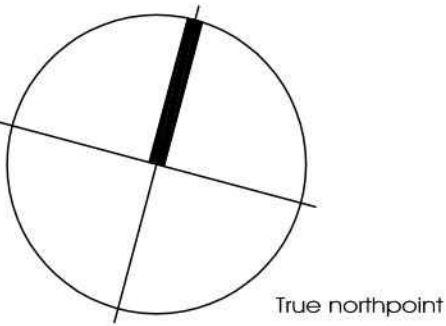
T : 9633 5888
M : 0418 402 919

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Roof Plan		
Drawn pdp	Scale 1:200 @ A1	Checked
Job No. 2026	Drawing No. DA16	Issue D

DEVELOPMENT APPLICATION

Roof Plan

Legend	
RLXXXX	Structural Floor Level
xRLXXXX	Finished Reduced Level



POST ADAPTABLE NOTES:

General Notes

- 50mm ramped threshold to external sliding doors
- all floor surfaces to be slip resistant in accordance with AS/NZS 3661.1
- door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1-2009

Electrical Notes

- Hot Water System to deliver hot water at a maximum of 50° in accordance with AS4299
- electrical distribution board to be located within the unit and be accessible
- allow for illumination levels in accordance with AS4299
- switch and power points to be located in accordance AS4299
- a telephone outlet to be provided in the lounge/dining area adjacent to a G.P.O

Laundry Notes

- laundry tub dimension and height to comply with AS 4299.
- taps to be provided at side of laundry tub
- provide double G.P.O

Bathroom Notes

- selected slip resistant ceramic floor tiles laid to fall on screed, provide waterproof membrane in accordance with AS 3740 1994
- tap sets to be capstan or lever handles with single outlet
- locate toilet paper holder in accordance with AS 1428.1-2009
- accessible toilet in accordance with AS 1428.1-2009
- provide for adjustable, detachable hand held shower rose mounted on a slider grab rail. clearance and heights to be in accordance with AS1428.1-2009
- vanity clearance to comply with AS 1428.1-2009

Kitchen Notes

- kitchen sink bowl 150mm deep max.
- sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
- install floor/wall tiling under & behind removable/adjustable kitchen benches
- tap set shall be capstan or lever handles or lever mix
- cook tops to include either front or side controls with raised cross bars
- cook tops to include isolating switch
- tap set located within 300mm of front of sink
- provision to be made for a microwave shelf to be installed or replaced at any height between 750mm and 1200mm.

A Development Application Issue	02.04.13
P2 Prelim. Issue to Consultants	26.03.13
P1 Prelim. Issue to Client	18.03.13

Issue description Date

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Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Typical Unit + Post - Adaptable Layouts		
Drawn pdp	Scale 1:100@A1	Checked
Job No. 2026	Drawing No. DA25	Issue A

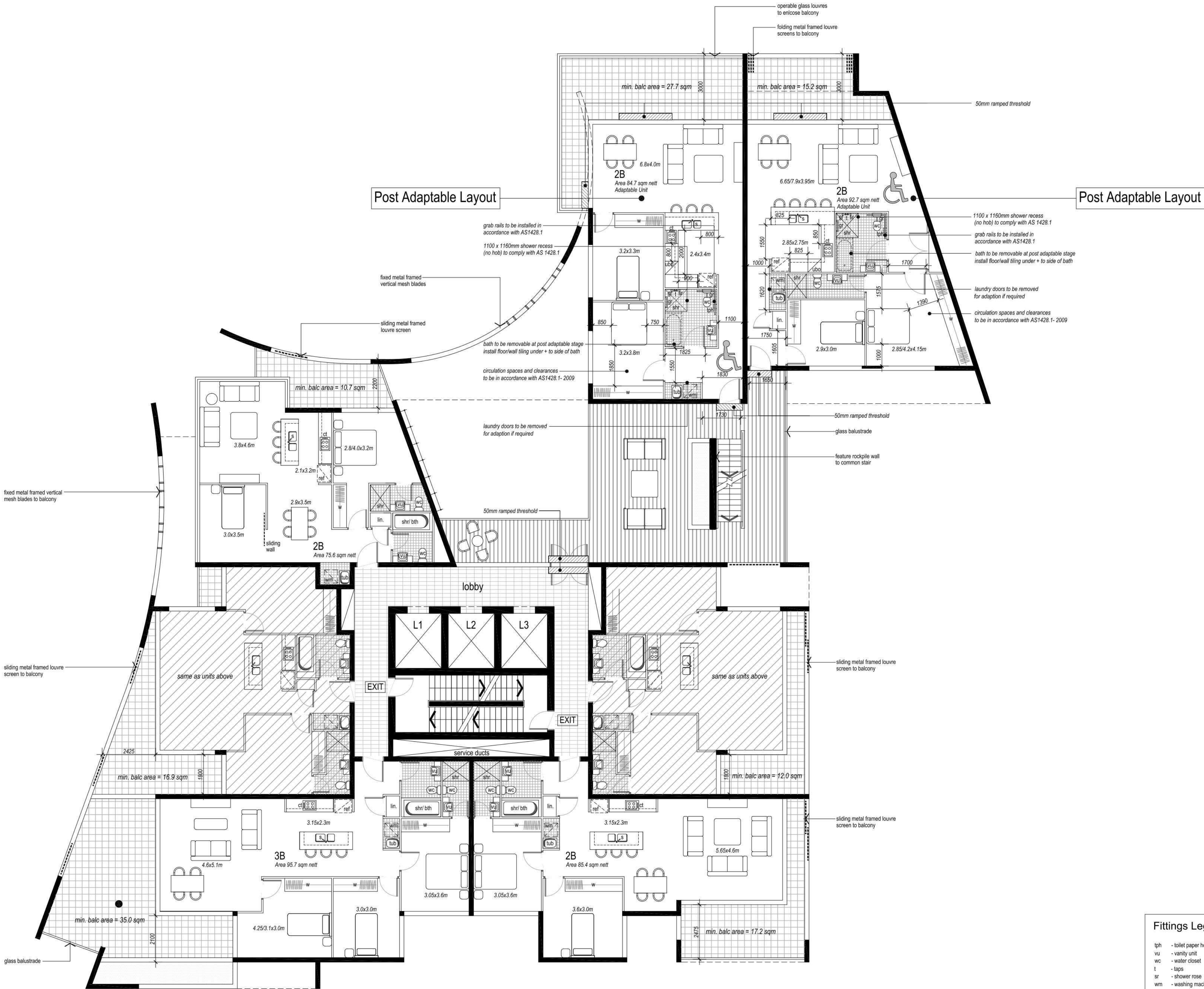
DEVELOPMENT APPLICATION

Fittings Legend

tph - toilet paper holder	wo - wall oven
vu - vanity unit	ct - cook top
wc - water closet	p - pantry
t - taps	ref - refrigerator
sr - shower rose	s - sink
wm - washing machine	gr - grab rail
dw - dishwasher	tr - towel rail
shrbth - shower / bath	ubo - under bench oven
w - built-in wardrobe	s - sink
w.i.r. - walk-in-robe	cpd - cupboard / shelves
lin. - linen	b - wall basin
sd - sliding wall partition	

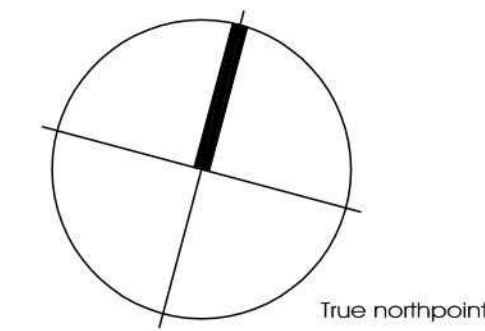
Note:

- Internal Wet Areas: selected ceramic floor tiles on screed laid to fall to floor/waste. Provide waterproof membrane in accordance with AS 3740.
- All units to have wall mounted drying cabinets in laundries.
- Balconies: 1000mm high pre-painted steel framed balustrade with glass infill panels to comply with the BCA



Typical Podium Levels 2 - 5

Typical Unit + Post-Adaptable Layouts



POST ADAPTABLE NOTES:

General Notes

- 50mm ramped threshold to external sliding doors
- all floor surfaces to be slip resistant in accordance with AS/NZS 3661.1
- door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1- 2009

Electrical Notes

- Hot Water System to deliver hot water at a maximum of 50° in accordance with AS4299
- electrical distribution board to be located within the unit and be accessible
- allow for illumination levels in accordance with AS4299
- switch and power points to be located in accordance AS4299
- a telephone outlet to be provided in the lounge/dining area adjacent to a G.P.O

Laundry Notes

- laundry tub dimension and height to comply with AS 4299.
- taps to be provided at side of laundry tub
- provide double G.P.O

Bathroom Notes

- selected slip resistant ceramic floor tiles laid to fall on screed, provide waterproof membrane in accordance with AS 3740 1994
- tap sets to be capstan or lever handles with single outlet
- locate toilet paper holder in accordance with AS 1428.1- 2009
- accessible toilet in accordance with AS 1428.1- 2009
- provide for adjustable, detachable hand held shower rose mounted on a slider grab rail. clearance and heights to be in accordance with AS1428.1- 2009
- vanity clearance to comply with AS 1428.1- 2009

Kitchen Notes

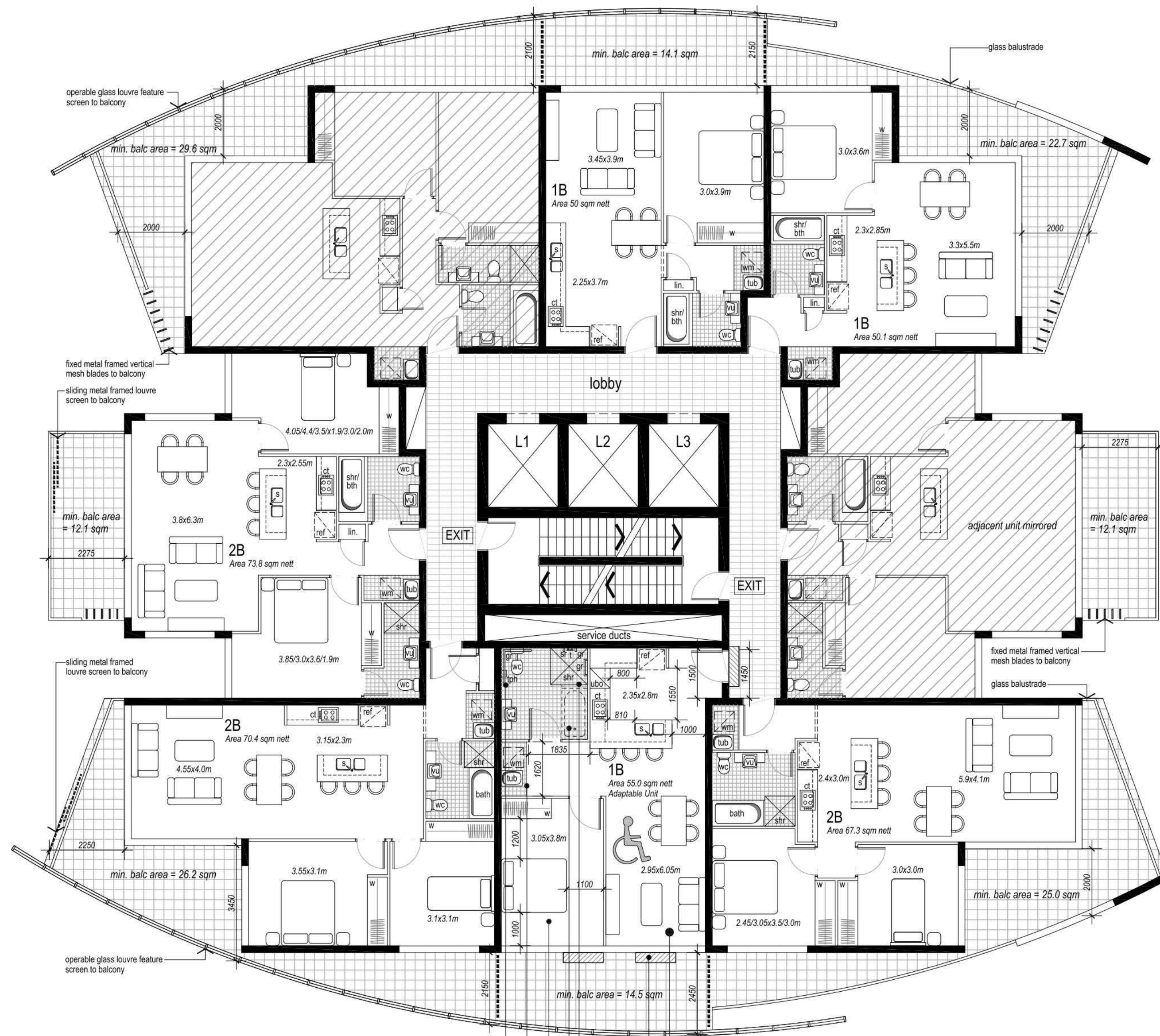
- kitchen sink bowl 150mm deep max.
- sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
- install floor/wall tiling under & behind removable/adjustable kitchen benches
- tap set shall be capstan or lever handles or lever mix
- cook tops to include either front or side controls with raised cross bars
- cook tops to include isolating switch
- tap set located within 300mm of front of sink
- provision to be made for a microwave shelf to be installed or replaced at any height between 750mm and 1200mm.

A	Development Application Issue	02.04.13
P2	Prelim. Issue to Consultants	26.03.13
P1	Prelim. Issue to Client	18.03.13

Issue description	Date
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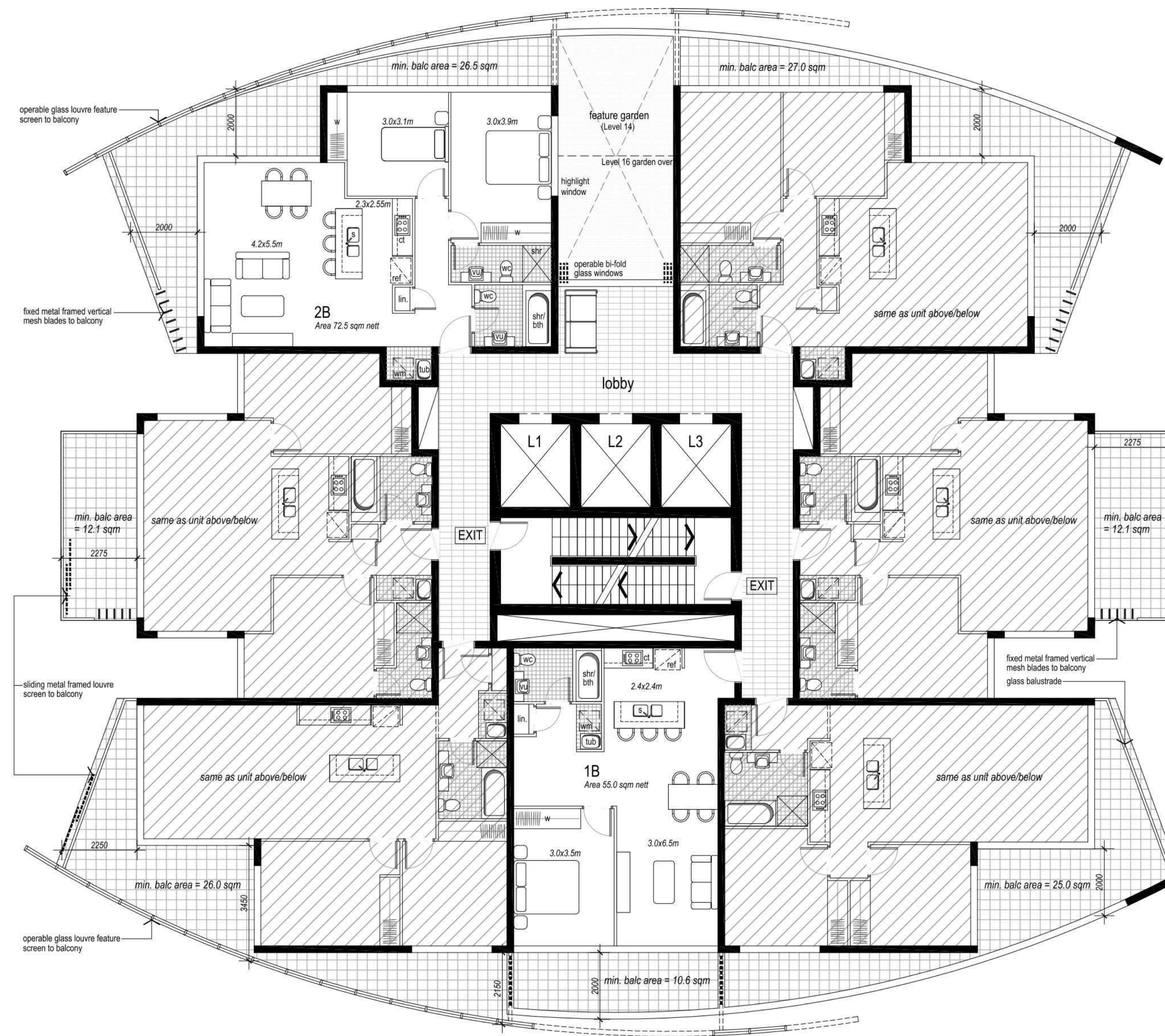
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Post Adaptable Layout

- 50mm ramped threshold
- 1100 x 1160mm shower recess (no hob) to comply with AS 1428.1
- bath to be removable at post adaptable stage
- install floor/wall tiling under + to side of bath
- circulation spaces and clearances to be in accordance with AS1428.1- 2009
- laundry doors to be removed for adaption if required
- grab rails to be installed in accordance with AS1428.1



Typical Levels 14 - 18

Typical Levels 7 - 13 & 19 - 21

Typical Unit + Post-Adaptable Layouts

Fittings Legend

tph	- toilet paper holder	wo	- wall oven
vu	- vanity unit	ct	- cook top
wc	- water closet	p	- pantry
t	- taps	ref	- refrigerator
sr	- shower rose	s	- sink
wm	- washing machine	gr	- grab rail
dw	- dishwasher	tr	- towel rail
shrbth	- shower / bath	ubo	- under bench oven
w	- built-in wardrobe	s	- sink
w.i.r.	- walk-in-robe	cpd	- cupboard / shelves
lin.	- linen	b	- wall basin
sd	- sliding wall partition		

Note:

- Internal Wet Areas: selected ceramic floor tiles on screed laid to fall to floor/waste. Provide waterproof membrane in accordance with AS 3740.
- All units to have wall mounted drying cabinets in laundries.
- Balconies: 1000mm high pre-painted steel framed balustrade with glass infill panels to comply with the BCA

DEVELOPMENT APPLICATION

Project Development Application Proposed Mixed Use Development		
Project address 113-117A Wigram Street + 23-29 Hassall Street, Parramatta		
Client Hassall Street Project Pty. Ltd.		
Title Typical Unit + Post - Adaptable Layouts		
Drawn pdp	Scale 1:100@A1	Checked
Job No. 2026	Drawing No. DA26	Issue A